



# ***Applying for a Residential Building Permit***

Building Division

604.469.4534 • [www.portmoody.ca](http://www.portmoody.ca)



**This guide assists you in applying for a permit to construct a new home, an accessory building or an addition to an existing residential building.**

This pamphlet is for general guidance only. It does not replace bylaws or other legal documents.

# When do we require a permit?

- We require a permit before any new construction takes place. For example:
- Constructing a new single or two family dwelling,
  - Constructing a new accessory building,
  - Adding to an existing building,
  - Altering, renovating or repairing existing buildings or structures,
  - Repairing fire damaged buildings or structures,
  - Completing an unfinished area in an existing building, (i.e. basement, recreation room.)
  - Moving a building from one location to another,
  - Demolishing or relocating buildings on the same lot,
  - Installing or alter plumbing fixtures or piping,
  - Installing or alter sanitary, storm sewers and drainage outside of the building,
  - Constructing swimming pools with a depth exceeding 610mm, (see “Applying for Swimming Pool Permits” guide)
  - Constructing retaining walls greater than 1.2m (4’-0”) in height (see “Landscape Walls vs. Retaining Wall” guide),
  - Installing a chimney for a wood-burning appliance.

# When do we not require a permit?

- We don’t require permits for minor modifications and repairs. For example:
- Cupboards,
  - Planters or partial height room dividers,
  - Painting,
  - Landscaping, including patios and decks less than 600mm (2’0”) above grade and independently supported,
  - Fences,
  - Roofing repair or replacement,
  - Exterior finish repair or replacement, (i.e. siding or stucco).

**Note:** Although the above work does not require a permit, homeowners are responsible to ensure that all work conforms to the requirements of the current editions of the B.C. Building Code and City Bylaws.

# Information at City Hall

We advise homeowners to check the approved plans at City Hall, if available. The plans may show construction that was allowed by previous building permits. For more information, please contact 604.469.4534.

# Here's what we need when you apply

All construction must comply with the current edition of the British Columbia Building Code, Zoning Bylaw, Building and Plumbing Bylaw and other City Bylaws and regulations. We require a letter of authorization from the homeowner if the contractor is applying for the permit. We also require a title search of the property.

Please provide two sets of plans. The following is a list of the information needed on the drawings. **If you are unable to provide the following information, you should engage the services of a professional designer or a registered professional familiar with the requirements of the B.C. Building Code.**

## Site Plan (see drawing no. A-1)

1. The site plan must be drawn to a minimum scale of 1/8" to 1'0" (or equivalent Metric scale);
2. Show the location of the building on the property with setback dimensions to the property lines;
3. Show all other buildings on the property;
4. Show the north arrow, the property lines and label the streets, lane and driveway;
5. Identify the area of proposed construction and existing spaces;
6. Indicate the lot size and proposed lot coverage area;
7. Show the location of existing services (storm, sanitary, water and septic);
8. Identify and dimension all easements and Right-of-Ways;
9. Show proposed and existing grades at corners of building.
10. For lots with slopes greater than 15 %, a contoured survey prepared by a B.C. Land Surveyor is required.
11. Show the area of the roof designated for compliance with solar ready regulations.

## Foundation Plan (see drawing no. A-2)

1. The foundation plan must be drawn to a minimum scale of 1/4" to 1'0" (or equivalent Metric scale)
2. Show the type and size of all footings, foundation walls, grade beams, pier pads, etc.;
3. Indicate the location and sizes of all beams and posts;
4. Indicate the floor system including joist size, spacing, grade and species of lumber, direction, length of spans, supports and hangers;
5. Show the location and size of all crawl space vents, access holes, door block outs, etc.;
6. Indicate all finished and unfinished areas;
7. Show the location of hot water tank, furnace, boiler and plumbing including rough-in.

## Floor Plan (see drawing no. A-3)

1. The floor plan must be drawn to a minimum scale of 1/4" to 1'0" (or equivalent Metric scale)
2. A separate floor plan is required for each floor level where any work will occur;
3. Show all framing details including beams, joists, lintels, posts, rafters, etc.;
4. Indicate materials being used (i.e. grade and species of lumber);
5. Identify the use of each room with existing and proposed floor plan;
6. Show and dimension all walls, windows, doors, skylights, stairs, decks, plumbing fixtures, fireplaces, furnaces, laundry equipment and other appliances;
7. Provide floor area calculations including existing spaces;
8. Identify all smoke alarms, ventilation fans and access to the attic;

## Cross Section (see drawing no. A-4)

1. The cross section must be drawn to a minimum scale of ¼" to 1'0" (or equivalent Metric scale);
2. A minimum of one Cross Section is required;
3. List wall, floor, roof, ceiling assemblies including insulation expressed in "R" values;
4. Final grade of ground surrounding building and depth of foundation and perimeter drainage;

## Elevations (see drawing no. A-5)

1. The elevations must be drawn to a minimum scale of ¼" to 1'0" (or equivalent Metric scale)
2. Elevations must show how the overall design is affected by the addition;
3. Proposed and existing grades must be shown on all elevations;
4. Show all exterior finishes and materials being used;
5. Indicate proposed roof pitch;
6. Show all windows, doors, decks, guards, stairs and handrails;
7. Provide spatial separation calculations.

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## Fees

When you apply, you'll have to pay an application fee. The permit fee is based on calculated construction value and is payable when the permit is issued and ready for pick-up. We also require a damage bond for most projects. For more information please contact the Building Department at 604.469.4534.

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## Other Requirements

In most cases you're required to obtain the services of a Registered Professional to address the structural aspects of the Building Code requirements. We'll also require two sets of engineered signed and sealed drawings. When a Registered Professional has provided structural or geotechnical design, please provide Letters of Assurance from the B.C. Building Code.

If there is any alteration to or addition of any plumbing fixtures, you'll need to apply for a plumbing permit.

For electrical and gas enquiries:

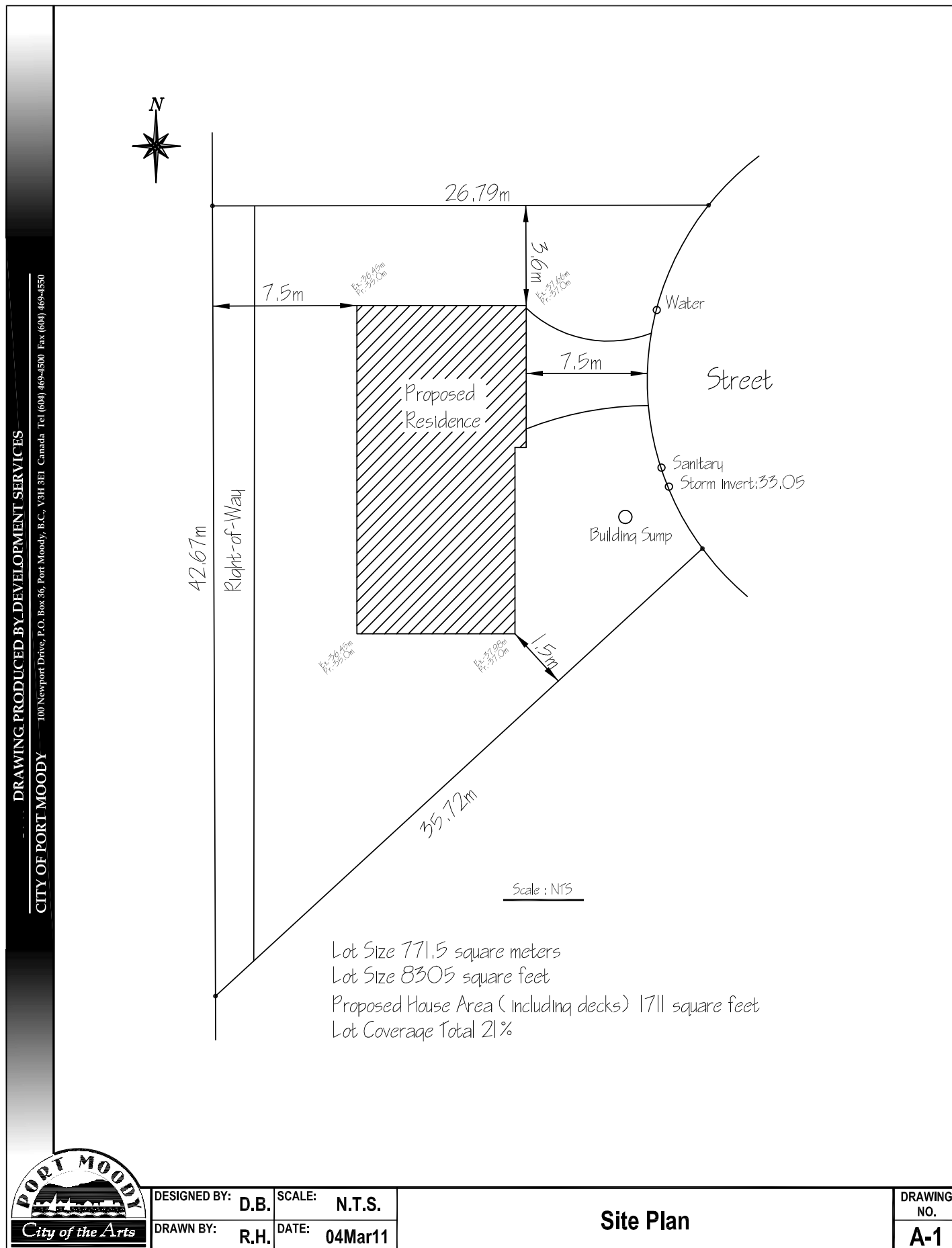
### **B.C. Safety Authority**

604.927.2041

A Topographical Survey from a B.C. Land Surveyor may be required at form inspection.

Please ask for additional information with regard to secondary suites. We can provide you with a guide.

# Drawing No. A-1 - Site Plan



DESIGNED BY: <b>D.B.</b>	SCALE: <b>N.T.S.</b>
DRAWN BY: <b>R.H.</b>	DATE: <b>04Mar11</b>

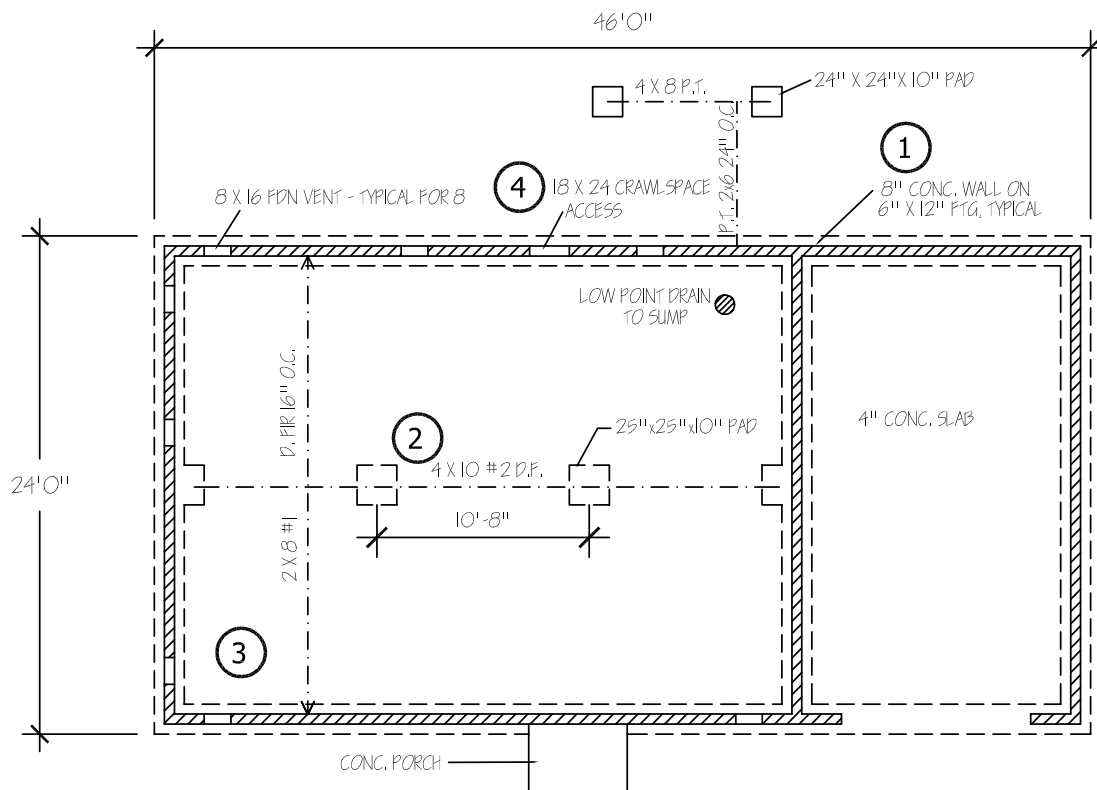
**Site Plan**

DRAWING NO.
<b>A-1</b>

# Drawing No. A-2 - Foundation Plan

DRAWING PRODUCED BY DEVELOPMENT SERVICES

CITY OF PORT MOODY 100 Newport Drive, P.O. Box 36, Port Moody, B.C., V3H 3E1 Canada Tel: (604) 469-4500 Fax: (604) 469-4550



**FOUNDATION PLAN**  
1/4" = 1'0"

THE FOUNDATION PLAN IS A DETAILED DRAWING OF THE FOUNDATION, AS SEEN FROM ABOVE. IT IS DRAWN TO SCALE (SUGGESTED SCALE IS 1/4"=1'0"), WITH DIMENSIONS AND OTHER IMPORTANT INFORMATION, INCLUDING:

- 1 SHAPE AND DEMENSIONS OF ALL FOOTINGS, FOUNDATION WALLS, GRADE BEAMS, PIER PADS ...ESSENTIALLY EVERYTHING THAT WILL BE MASONRY BLOCK OR POURED CONCRETE.
- 2 LOCATION AND SIZE OF ALL BEAMS AND POSTS.
- 3 FLOOR SYSTEM JOIST SIZE, SPACING, GRADE AND SPECIES OF THE LUMBER, DIRECTION AND LENGTH OF SPAN (S), AND ANY SUPPORTS OR HANGERS.
- 4 LOCATIONS AND SIZE OF ALL CRAWL-SPACE VENTS, ACCESS HOLES, DOOR "BLOCK-OUTS" ETC.
- 5 LOCATION OF ANY FURNACE, WATER HEATER, SEWER EJECTOR PUMP, DRAINAGE SUMP PUMP OR ANY OTHER APPLIANCE / DEVICE WHICH WILL BE LOCATED IN A CRAWL SPACE.



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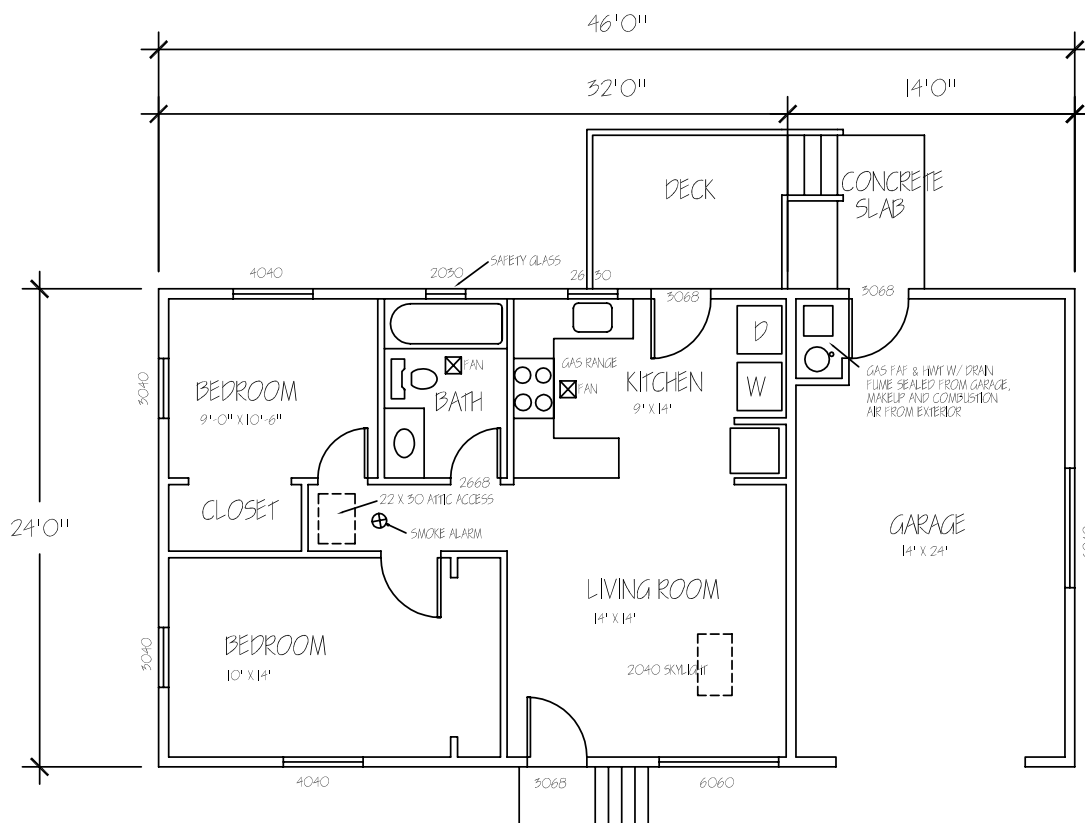
**Foundation Plan**

DRAWING NO.
<b>A-2</b>

# Drawing No. A-3 - Floor Plan

DRAWING PRODUCED BY DEVELOPMENT SERVICES

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FLOOR PLAN  
1/4" = 1'0"

THE FLOOR PLAN IS A DETAILED "MAP" OF THE NEW WORK IN YOUR PROJECT, AND SOMETIMES PARTS OF EXISTING BUILDINGS, TOO. WE SUGGEST YOU USE THE SCALE 1/4"=1'0", AND INCLUDE THE FOLLOWING:

- 1 A SEPARATE PLAN FOR EACH FLOOR LEVEL WHERE ANY WORK WILL OCCUR.
- 2 ALL WALLS, WINDOWS, DOORS, SKYLIGHTS, STEPS, DECKS, LANDINGS, PATIOS, PLUMBING FIXTURES, FIREPLACES, WOODSTOVES, FURNACES, LAUNDRY EQUIPMENT, AND OTHER APPLIANCES.
- 3 USE AND DIMENSIONS OF EACH ROOM, LIKE "BEDROOM", "LIVING ROOM", "WALK-IN CLOSET" AND SO ON.
- 4 LOCATION OF ALL SMOKE ALARMS, ALL VENT FANS, AND ACCESS TO THE ATTIC.
- 5 INDICATE THE FUELS THAT VARIOUS APPLIANCES WILL USE, LIKE "ELECTRIC DRYER", "GAS RANGE", "PROPANE FURNACE", OR "GAS LOG FIREPLACE" FOR EXAMPLE.



DESIGNED BY: <b>D.B.</b>	SCALE: <b>N.T.S.</b>
DRAWN BY: <b>R.H.</b>	DATE: <b>04Mar11</b>

**Main Floor Plan**

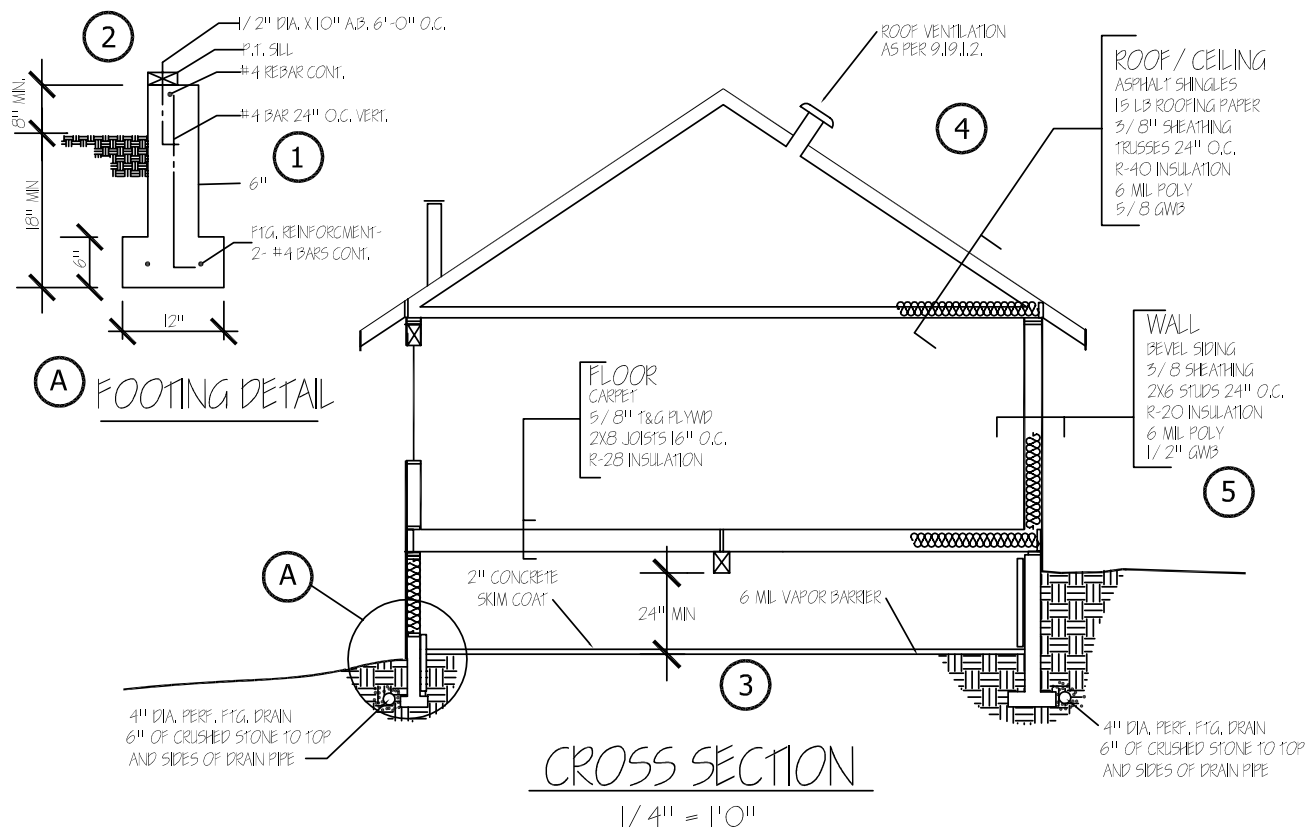
DRAWING NO.
<b>A-3</b>



# Drawing No. A-4 - Cross Section

DRAWING PRODUCED BY DEVELOPMENT SERVICES

CITY OF PORT MOODY — 100 Newport Drive, P.O. Box 36, Port Moody, B.C., V3H 3E1 Canada Tel (604) 469-4500 Fax (604) 469-4550



A CROSS SECTION SHOWS THE COMPLETE ASSEMBLY OF MATERIALS FOR FLOORS, WALLS AND ROOFS. THE BEST SCALE TO USE IS 1/4" = 1'0", AND A COMPLETE CROSS SECTION WOULD INCLUDE:

- 1 FOOTING SIZE AND DEPTH BELOW GRADE, FOUNDATION WALL THICKNESS, AND REBAR LOCATIONS.
- 2 FINAL GRADE OF THE GROUND AROUND THE BUILDING, AND THE CLEARANCE BETWEEN EARTH AND WOOD.
- 3 BEAMS (DON'T FORGET SOLID BLOCKING), TREATED SILL PLATES, VAPOUR BARRIER.
- 4 SIZE AND SPACING OF ALL JOISTS, STUDS, HEADERS, RAFTERS AND TRUSSES. ALL ROOF, FLOOR AND WALL SHEATHING. SPECIFY THE SIDING, ROOFING MATERIAL, AND INTERIOR WALL AND CEILING FINISH MATERIALS.
- 5 ALL FLOOR, WALL AND CEILING INSULATION, EXPRESSED IN "R" VALUES.



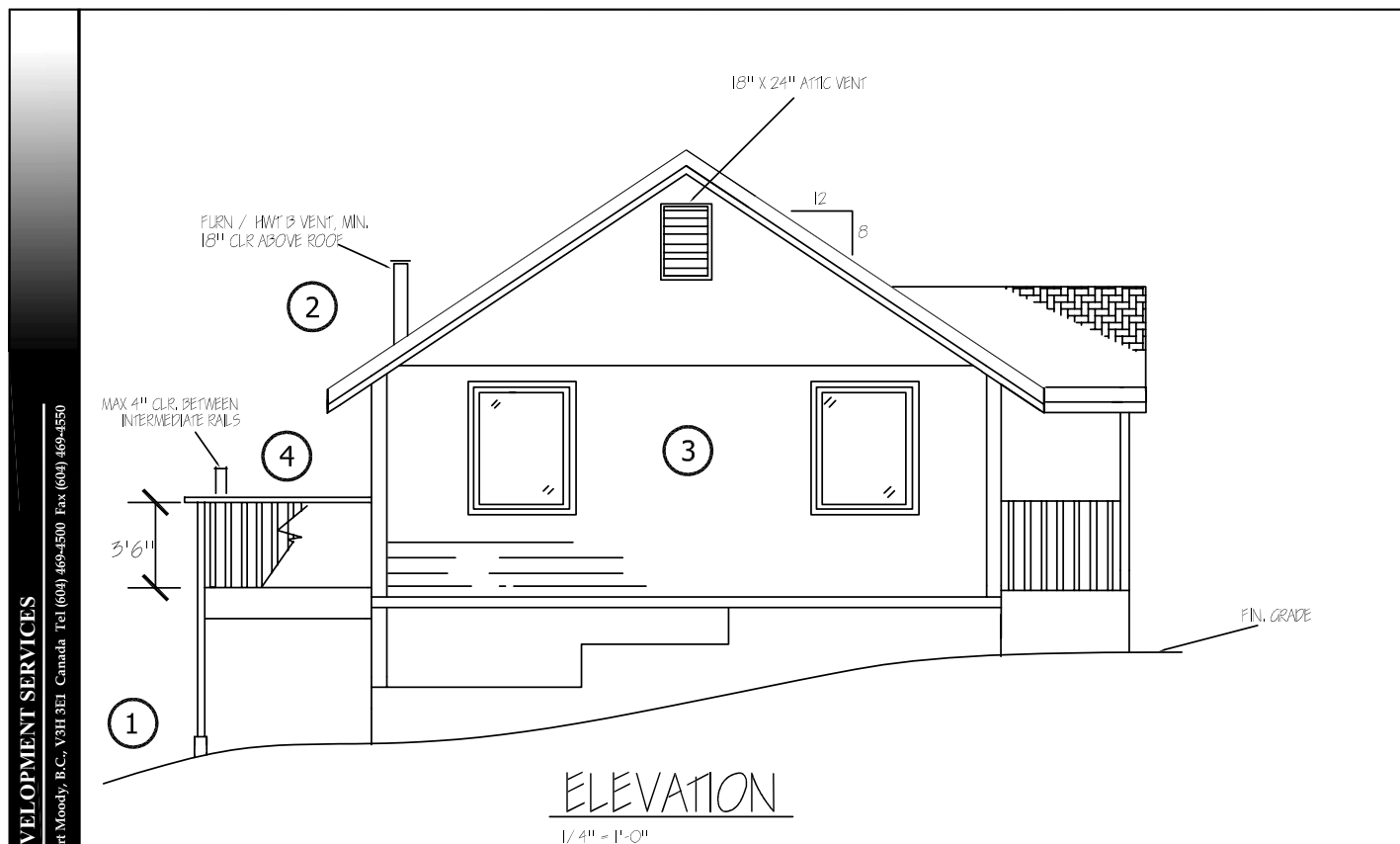
DESIGNED BY: <b>D.B.</b>	SCALE: <b>N.T.S.</b>
DRAWN BY: <b>R.H.</b>	DATE: <b>04Mar11</b>

**Cross Section**

DRAWING NO.
<b>A-4</b>



# Drawing No. A-5 - Elevations



ELEVATIONS SHOW WHAT THE BUILDING WILL LOOK LIKE FROM ITS EXTERIOR. RECOMMENDED SCALE IS  $1/4" = 1'-0"$ . DEPENDING ON THE SPECIFIC PROJECT, SOMETIMES JUST ONE ELEVATION (LIKE THE "NORTH" SIDE, FOR EXAMPLE) IS SUFFICIENT. FOR OTHER MORE COMPLEX PROJECTS, VIEWS OF THE NORTH, EAST, SOUTH AND WEST SIDES MUST BE SHOWN, INCLUDING:

① FINAL GRADE - THE SLOPE AND SHAPE OF THE GROUND AROUND THE BUILDING AFTER THE PROJECT IS COMPLETE.

② EAVES AND ROOF OVERHANGS, ROOF PITCH, CHIMNEY LOCATIONS AND HEIGHTS, ROOF VENTILATION UNITS.

③ ALL WINDOWS AND DOORS, ALL ROOF / ATTIC VENTS. SHOW CALCULATION FOR LIMITING DISTANCE, EXPOSING BUILDING FACE(S), AND UNPROTECTED OPENINGS.

④ ALL DECKS, GUARDRAILS, LANDINGS, PORCHES, STAIRS AND HANDRAILS.



DESIGNED BY: D.B.	SCALE: N.T.S.
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South Elevation

DRAWING NO.
A-5